

CITY OF GIG HARBOR  
RESOLUTION #314

WHEREAS, AustinCina Architects has requested site plan and conditional use approval for the development of an additional 47,326 square feet of worship and educational facilities to the existing Chapel Hill Presbyterian Church located at 4814 Rosedale Street; and,

WHEREAS, the Gig Harbor City Council has adopted Ordinance #489 which establishes guidelines for the reviewing of site plans and conditional uses and other land use issues; and,

WHEREAS, the Planning Department for the City of Gig Harbor has recommended conditional approval of the project, in a staff report dated April 1, 1991; and,

WHEREAS, the City of Gig Harbor Hearing Examiner conducted a public hearing on the application on April 17, 1991 to accept public comment on; and,

WHEREAS, the City of Gig Harbor Hearing Examiner has made specific findings and conclusions and has recommended conditional approval of in his report dated May 1, 1991.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Gig Harbor, Washington, as follows:

That the findings, conclusions and recommendations of the Hearing Examiner in his report dated May 1, 1991 is adopted and the application for site plan and conditional use approval is granted subject to the following modified conditions:

1. A storm water drainage plan shall be submitted to the Public Works Department for review and approval. The storm drainage plan shall also include details providing for temporary erosion control during site preparation and construction. Storm drainage improvements, as required by the Public Works Department, shall be installed prior to occupancy.

2. The proposal shall conform to the City of Gig Harbor Fire Code, as per the City Fire Marshal's recommendations within this report.
3. The project shall not exceed the thirty-five foot height limit as established under the height overlay district standards.
4. A lot line combination shall be submitted to the Gig Harbor Planning Department for review and approval prior to the issuing of any building permits. This will negate the requirement for a variance from the maximum impervious coverage standards.
5. A landscape plan consistent with Section 17.78 shall be submitted to the Gig Harbor Planning Department for review and approval prior to the issuing of any building permits. Landscaping shall be installed, as approved prior to occupancy of the new facilities.
6. In accordance with Section 17.96.070, construction on Phase I of the project must commence within twenty-four (24) months from the date of final council action. Construction of Phase II shall be commenced within thirty-six (36) months of final council action. Failure to commence construction within the allotted time period shall render approval null and void.
7. Sidewalks curbs and gutters shall be provided fronting Rosedale Street, as required per Section 17.01.080.
8. A lighting plan shall be submitted to the Gig Harbor Planning Department for review and approval. The lighting shall be directional and non-glare.
9. In lieu of any required construction improvements prior to occupancy of the expanded facilities, a bond or an assignment of funds equal in amount to 110% of a contractor's bid for the improvements may be considered by the City when the church occupies the space. The bond or assignment shall

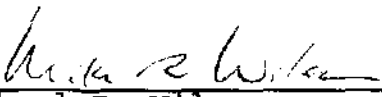
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be void for a period of two years from the date on construction. This condition does not supercede the requirements for the posting of a construction and maintenance bond in accordance with the Gig Harbor Municipal Code.

PASSED this 13th day of May, 1991.

  
Gretchen A. Wilbert, Mayor

ATTEST:

  
Michael R. Wilson  
City Administrator/Clerk

Filed with City Clerk: 5/8/91  
Passed by City Council: 5/13/91